

FRASER RISE — VIC 3332

MASALL

NOVEMBER 2022

Design Guidelines



[masall.com.au](https://www.masall.com.au)

CONTENTS

1.0	PURPOSE OF THE GUIDELINES	3
1.1	HOW TO USE THESE HOUSING DESIGN GUIDELINES	3
1.2	ENFORCEMENT OF THE HOUSING AND SUBDIVISION GUIDELINES	3
2.0	APPROVAL PROCESS	4
2.1	DESIGN APPROVAL PROCESS	4
2.2	DESIGN APPROVAL APPLICATION REQUIREMENTS:	6
2.3	SUBMITTING YOUR APPLICATION	7
2.4	RE-SUBMISSIONS	7
2.5	OTHER APPROVALS	8
2.6	SMALL LOT HOUSING CODE (SLHC)	8
2.7	TIMING	8
2.8	DEFINITIONS	9
2.9	RESTRICTIONS ON TITLE	9
3.0	DWELLING SITING	11
3.1	SITING FOR ENERGY EFFICIENCY	11
3.2	MULTIPLE DWELLINGS	11
3.3	LOTS LESS THAN 300M ²	11
3.4	NON-CORNER LOTS 300M ² AND LARGER	11
3.5	CORNER LOTS 300M ² AND LARGER	12
4.0	DWELLING DESIGN	13
4.1	BUILDING ARTICULATION AND MASSING	13
4.2	FAÇADE DESIGN	13
4.3	FAÇADE REPLICATION	14
4.4	BUILDING HEIGHT	14
4.5	DWELLINGS ON CORNER LOTS	14
4.6	MATERIALS AND COLOURS	16
4.7	ROOFS	17
4.8	GARAGES AND DRIVEWAYS	19
5.0	LANDSCAPING AND FENCING	21
5.1	FENCING	21
5.2	FRONT GARDEN LANDSCAPE	24
6.0	SUSTAINABLE DESIGN	26
6.1	PASSIVE DESIGN	26
6.2	ENERGY EFFICIENCY & LIGHTING	26
6.3	WATER EFFICIENCY	26
7.0	MISCELLANEOUS	27
7.1	SERVICES AND PLANT EQUIPMENT	27
7.2	CONNECTIVITY	27

1.0 PURPOSE OF THE GUIDELINES

These Housing Design Guidelines have been developed to ensure that a high standard of design is incorporated into the new homes within Masall, Fraser Rise. This document ensures that the future housing within the estate is sympathetic to the surrounds and that dwellings respond to the surrounding landscape and development pattern.

The Guidelines are applicable for all new single dwelling proposals. All lots less than 300m² will additionally be subject to assessment under the Small Lot Housing Code.

1.1 HOW TO USE THESE HOUSING DESIGN GUIDELINES

The Guidelines are presented to convey objectives and define controls for dwelling design that occurs within Masall. They will allow for flexibility in selection and choice of housing across the estate.

The Guidelines and the Design Review Panel (DRP) are in place to oversee and implement the objectives of the Design Guidelines, thereby helping to bring about higher quality housing design outcomes throughout Masall.

Meeting the intent of the objectives can, in most cases, be achieved in a variety of ways. Some are prescriptive, others performative.

To this end, interpretation and application of these Design Guidelines is at the sole discretion of the DRP. The DRP's decisions are final. No claims shall be made to the Developer, the DRP or their representatives with respect to the decisions made.

The DRP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at Masall.

1.2 ENFORCEMENT OF THE HOUSING AND SUBDIVISION GUIDELINES

All homes built at Masall must be approved by the DRP prior to lodging for any Building Permit or commencing any construction of works.

Every Masall purchaser is provided with these Design Guidelines to clearly explain the design and delivery requirements for homes in the estate.

A copy should be provided to your builder/architect to assist in the design and delivery of your new home. The Design Guidelines may be changed from time to time at the DRP's discretion, subject to Council Approval.

Applications for Developer's Approval will be assessed against the current version of the Design Guidelines.

2.0 APPROVAL PROCESS

2.1 DESIGN APPROVAL PROCESS



2.1 DESIGN APPROVAL PROCESS

STEP 1

Choose your builder/architect, house design and façade.

STEP 2

Complete the Design Approval Checklist with your builder/architect and ensure you meet both Design Guidelines and Plan of Subdivision restrictions.

STEP 3

Compile the documentation required for the Design Approval Application and submit the completed application for approval, including:

- Design Approval Application Form must be provided with initial and subsequent applications.
- Completed Design Approval Checklist.
- Proposed house plans conforming with DRP requirements.

STEP 4

The DRP will review each complete application to ensure your home complies with the Design Guidelines. If your application requires amendments, the DRP will provide written advice detailing the areas requiring clarification (**STEP 5**). Applications to the DRP will only be reviewed if all the requirements have been submitted. Approval will not be granted on a part application. If any design changes are made after DRP approval, all documentation must be resubmitted for approval.

In the instance of a conflict between two or more standards, the DRP will assess the application on its merits and compliance in general with these standards. The DRP also reserves the right to approve variations or dispensations to these standards if submitted designs are considered to achieve the objectives conveyed by these Design Guidelines.

The decision to approve or not approve an application (**STEP 6**) is solely at the decision of the DRP and does not set a precedent for future applications.

The DRP's approval does not constitute a building permit nor replace the need for a building permit (**STEP 7**). A building permit must be obtained from City of Melton or a private building surveyor prior to commencement of construction.

Applications submitted must strictly comply with the restrictions on the Plan of Subdivision. The developer cannot vary Plan of Subdivision Restrictions, and any designs approved by the DRP do not override restrictions on any Plan of Subdivision.

2.0 APPROVAL PROCESS

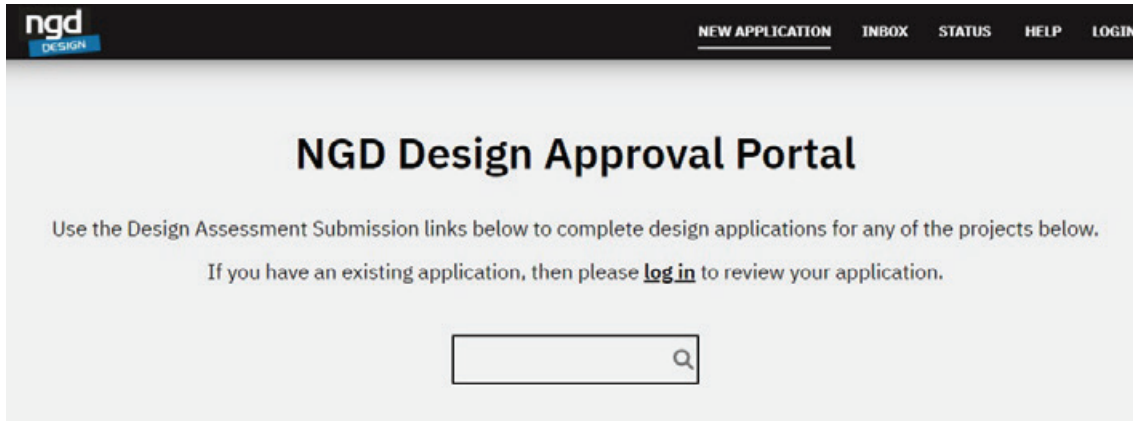
2.2 DESIGN APPROVAL APPLICATION REQUIREMENTS:

- Completed Design Approval Checklist
- Site plan including:
 - Lot boundaries, dimensions, areas and North point;
 - Dimensions and areas of proposed building structures;
 - Setbacks to all boundaries and private open space dimensions;
 - Original and proposed finished ground levels, including changes in level;
 - Driveways, parking areas and all hardstand surfaces (including paving and pools);
 - The location on any required rainwater tank
 - Details of proposed retaining walls; and
 - Extent and height of fencing.
- Floor plans, roof plans and elevations showing:
 - Internal layout including rooms, balconies, verandahs, decks, doors, windows, openings and dimensions;
 - Location of water tanks, TV antennas, air-conditioning units, evaporative cooling units, solar water heaters, solar panels, pool heaters, sheds and outbuildings;
 - Roof form; and
 - All elevations fully dimensioned with all proposed external materials and colour selections referenced.
- Materials and Colour Samples, in PDF format, including:
 - Building materials proposed for external walls, roofing, pathways, driveways, fencing, retaining walls; and
- Landscape Plan with dimensions and showing:
 - The indicative extent of all hardscape and softscape and a planting schedule that lists all proposed species referenced on the landscape plan.

2.3 SUBMITTING YOUR APPLICATION

The application requirements listed, allow the DRP to thoroughly assess house designs to ensure the higher quality outcomes for your neighbourhood.

When you are ready to make your submission for Design Approval, you can lodge it on the Design Approval Portal at www.ngdd.com.au:



As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of a submission from the initial lodgement through to approval.

Generally, the DRP will review and respond to you within 10 working days of your submission, but this time may vary depending on the nature and completeness of your submission.

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DRP. New submissions for a lot that has already had an application approved may also incur an administration fee.

HANDY HINT: Incomplete submissions are the single greatest cause of delays in obtaining a Developer's Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

2.4 RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

2.0 APPROVAL PROCESS

2.5 OTHER APPROVALS

The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. Approval by the DRP does not exempt the plans from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. Separate approval must be obtained from the relevant authorities. It is the responsibility of the owner to ensure any other approvals, authorisation permits, or other requirements are obtained and satisfied.

2.6 SMALL LOT HOUSING CODE (SLHC)

These guidelines apply to all single dwelling lots at Masall. Lots that provide a single dwelling and have an area less than 300 m² are also subject to the allocated Type A or B requirements of the Small Lot Housing Code (SLHC).

In the event of any clash between the SLHC requirements and these Design Guidelines, the SLHC shall take preference.

The DRP will not assess proposals against the requirements of the SLHC.

2.7 TIMING

- 2.7.1 Construction of your dwelling must start within 12 months of the original lot settlement date, unless otherwise agreed in writing by the Developer.
- 2.7.2 Completion of your home, including garage, driveway, fencing and retaining walls must occur within 12 months of construction starting, unless otherwise agreed in writing by the Developer.
- 2.7.3 Driveways and fences, including the return fence must be completed before a dwelling is occupied
- 2.7.4 The front garden landscape must be completed within 120 days of the date on the Occupancy Permit..

2.8 RESTRICTIONS ON TITLE

Restrictions on Title can also specify certain requirements. It is the responsibility of the applicant to ensure that the restrictions are not breached by the proposal.

2.9 DEFINITIONS

For the purposes of these guidelines:

- 2.9.1 Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
- 2.9.2 Primary Frontage is the boundary that abuts the Public Realm.
- 2.9.3 A Corner Lot is any lot that has two contiguous boundaries that do not abut another residential lot.
- 2.9.4 On corner lots, the primary frontage is the shorter one adjacent to the street.

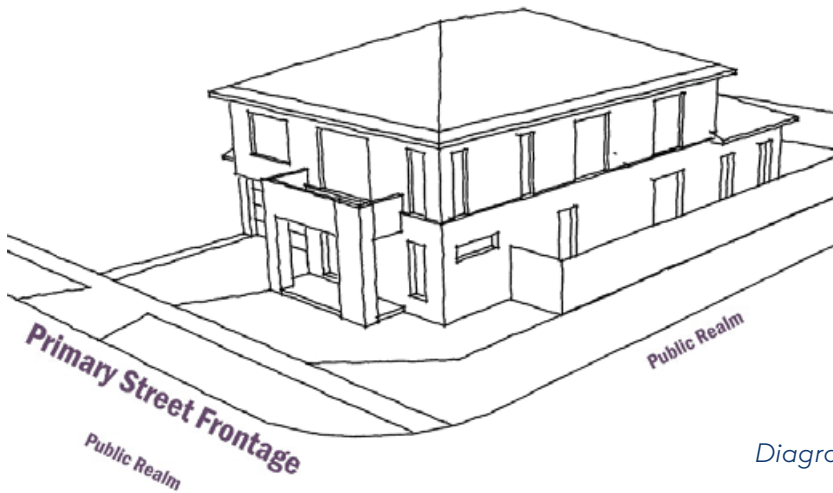


Diagram 2.9.4

- 2.9.5 A Side Boundary is the boundary on either side of the primary boundary.
- 2.9.6 For irregular lots, the Lot Width is the width of the lot at the front building line. (The front building line does not include the entry feature of a dwelling).

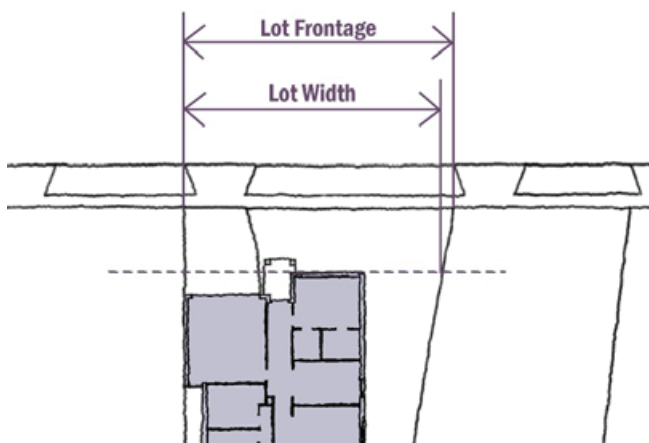


Diagram 2.9.6

2.0 APPROVAL PROCESS

- 2.9.7 Natural Ground Level means the finished surface level of the ground at the time of registration of the Plan of Subdivision.
- 2.9.8 A habitable room is a living/lounge room or a bedroom.
- 2.9.9 The front building line is the external face of the front most habitable room wall. Entry features, porches, porticos etc. do not form part of the front building line.
- 2.9.10 Front Garden refers to the whole area between the front boundary of a lot and the dwelling, garage & return fence.

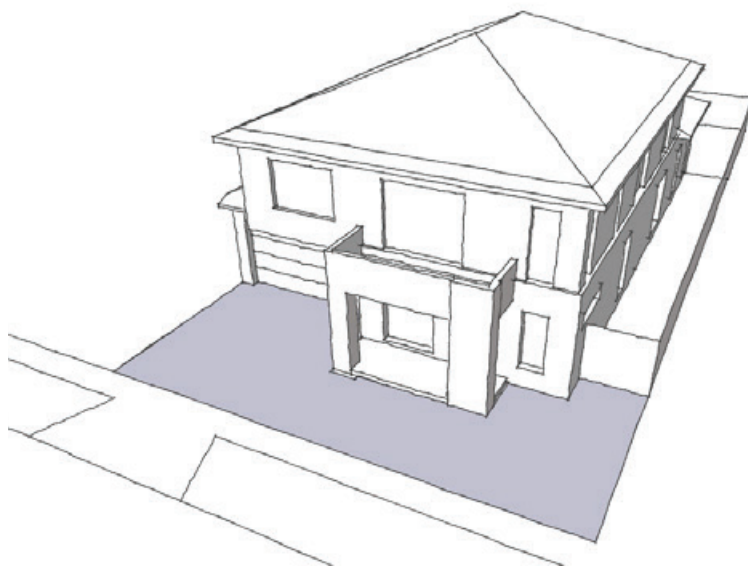


Diagram 2.9.10

- 2.9.11 Front Loaded refers to a lot where the garage is accessed from the primary frontage.
- 2.9.12 Side Loaded refers to a lot where the garage is accessed from a secondary frontage.
- 2.9.13 Rear loaded refers to a lot where the garage is accessed from the rear of the lot, usually from a lane or secondary street.

3.0 DWELLING SITING

Management of the siting of dwellings on lots will ensure that overlooking and overshadowing is minimised and that dwellings and garages present well to the street. Control of the dwelling siting also assists in maximising passive solar benefits to dwellings and siting controls to ensure an improved streetscape solution for Masall.

3.1 SITING FOR ENERGY EFFICIENCY

When designing your home, consider how the dwelling is sited on the lot to maximise access to natural sunlight. Position living areas to face north and avoid west facing bedrooms where possible. Outdoor living areas should receive direct access to natural sunlight.

3.2 MULTIPLE DWELLINGS

Masall has been designed to accommodate single dwellings on each lot. The construction of two dwellings on a lot is not permitted, unless the lot is identified for multiple dwellings in the Restrictions attached to the relevant Stage Plan of Subdivision. Any proposal to develop more than a single dwelling on a lot would be subject to planning permit approval by City of Melton Council.

3.3 LOTS LESS THAN 300m²

Setbacks for lots less than 300m² must meet the requirements outlined in the Small Lot Housing Code (SLHC). Minimum setbacks in the SLHC are generally less than those required for lots 300m² and over, allowing for lesser setbacks from front and side boundaries.

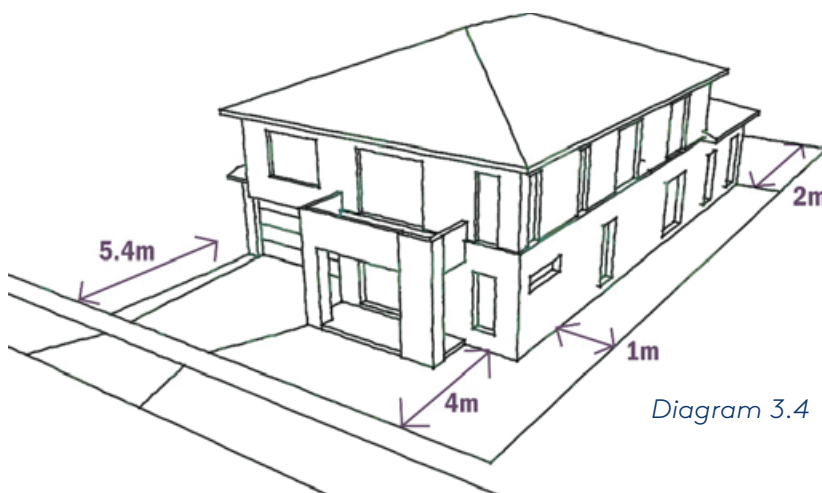
Further detail on these requirements should be sourced from the current version of the SLHC available from www.vpa.vic.gov.au.

As noted earlier, the DRP cannot assess proposals against the requirements of the SLHC, as only a Building Surveyor can endorse compliance with the SLHC.

3.4 NON-CORNER LOTS 300m² AND LARGER

Dwellings on lots 300m² and above must have the following minimum setbacks:

- 3.4.1 The dwelling (front building line) must be setback a minimum of 4m from the front boundary.
- 3.4.2 Garages must be setback a minimum of 5.4m from the front boundary.
- 3.4.3 Side setbacks must be a minimum of 1m from at least one side boundary.
- 3.4.4 Rear setbacks must be a minimum of 2m.



3.0 DWELLING SITING

- 3.4.5 Porches, verandahs and porticos less than 3.6 metres in height may encroach up to 1.5 metre into the minimum front setback.

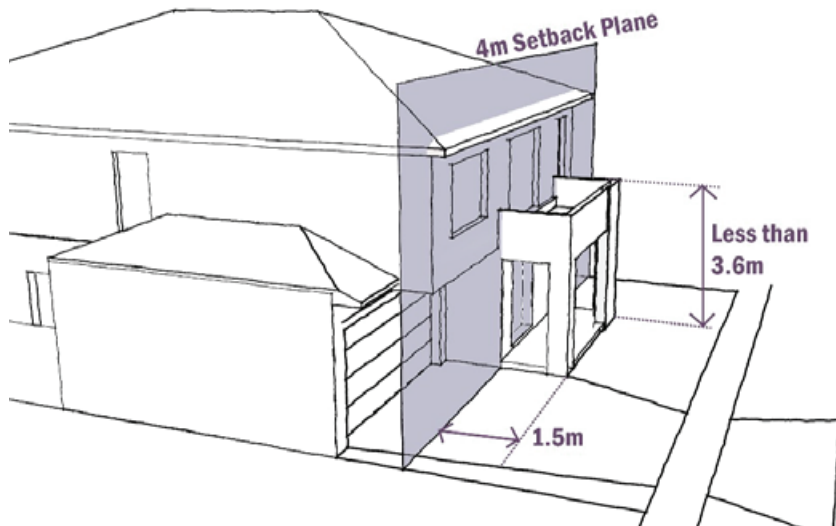


Diagram 3.4.5

- 3.4.6 Eaves, fascias, gutters, chimneys, flue pipes, water tanks and heating or cooling or other services may encroach no more than 0.5m into the setback around the entire dwelling, excluding garage walls on the boundary.

3.5 CORNER LOTS 300m² AND LARGER

Dwellings on corner lots 300m² and above must have the following minimum setbacks:

- 3.5.1 The dwelling (front building line) must be setback a minimum of 4m from the front boundary.
- 3.5.2 The dwelling must be a minimum 2m from a secondary street boundary.
- 3.5.3 Garages facing the front boundary must be setback a minimum of 5.4m from the front boundary.
- 3.5.4 Garages facing the secondary boundary must be setback a minimum of 5m from the secondary boundary.
- 3.5.5 Garages are not permitted to be built over any easement. Where there is an easement along a boundary, the garage must be setback from the boundary to accommodate the easement.
- 3.5.6 Garages are not permitted adjacent to boundaries abutting public open space.
- 3.5.7 Porches, verandahs and porticos less than 3.6 metres in height may encroach up to 1.5 metre into the minimum front setback.
- 3.5.8 Eaves, fascias, gutters, chimneys, flue pipes, water tanks and heating or cooling or other services may encroach no more than 0.5m into the setback around the entire dwelling, excluding garage walls on the boundary.

4.0 DWELLING DESIGN

The individual design of each dwelling will add to the character and overall streetscape outcomes within the estate. The guidelines do not propose to dictate a certain look to your home, but are to guide the design in terms of proportions, facade design, colours and materials through to the design of roofs and garages. The following outlines the objectives for dwelling design at Masall.

4.1 BUILDING ARTICULATION AND MASSING

4.1.1 All dwellings must be well-articulated and proportioned to reduce the visual mass of the building. Ways to achieve this can include:

- Recessing upper levels from the front setback.
- Utilising different materials and/or colours (a minimum of 2 colours/materials and maximum of 4 should be used on external wall facades).
- Varying locations of windows and ensuring windows are well-proportioned.
- Introducing larger eaves, balconies or porticos.

4.1.2 All street frontages are to include windows. In particular, the primary street frontage must include windows that provide passive surveillance to the street. In relation to double storey dwellings, both ground and upper levels must contain windows that overlook the primary street frontage.

Blank walls visible from the street or adjoining public open spaces must be avoided.

4.2 FAÇADE DESIGN

4.2.1 Front entries to dwellings must be clearly visible from the street and should include protruding or recessed elements such as a verandah or portico to reinforce the dwelling's entry and sense of address.

4.2.2 At least one habitable room (i.e. living room, bedroom, etc.) must be located on the primary facade to provide a clear view to the street.

4.2.3 Sliding windows are not permitted on any façade facing the primary or secondary frontages.

4.2.4 The finish above any opening in a façade that faces the Public Realm (including windows, doors and garage openings) must match the finish on either side of the opening, unless the DRP considers the panels to be part of an allowable design element.

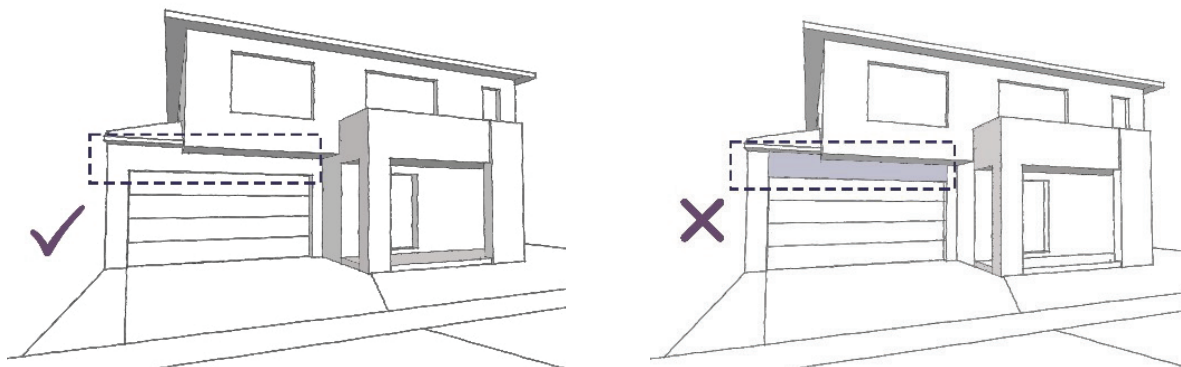


Diagram 4.2.4

4.0 DWELLING DESIGN

4.3 FAÇADE REPLICATION

- 4.3.1 A dwelling must avoid replicating an identical facade of a dwelling within three lots in either direction on the same side of the street or within three lots on the opposite side of the street.

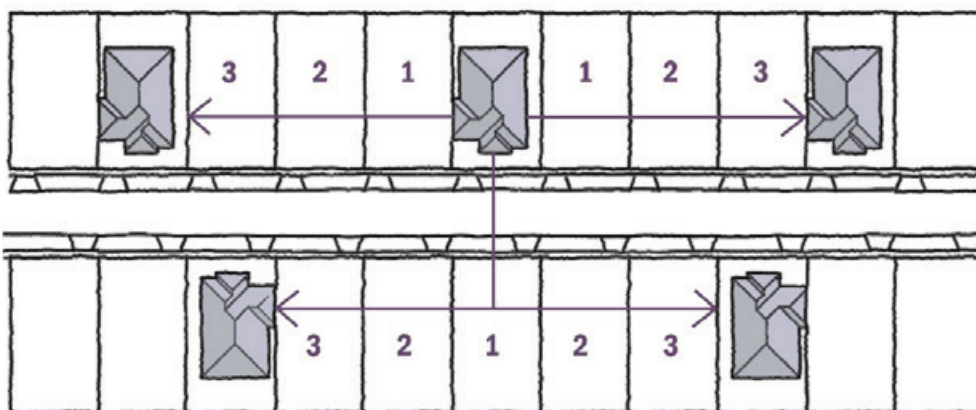


Diagram 4.3.1

4.4 BUILDING HEIGHT

- 4.4.1 Single storey dwellings must have a ceiling height of at least 2590mm.

4.5 DWELLINGS ON CORNER LOTS

Corner dwellings must address both their primary and secondary street frontages, using well-articulated architectural treatments where built form is visible in front of the side fence, and at upper levels. This treatment and the materials should be consistent with the front façade design and includes techniques such as wrap around verandahs, feature windows, etc.

Specifically:

- 4.5.1 Materials used on the primary façade must continue to the secondary façade a minimum of 3m and must be in front of the return fence line.

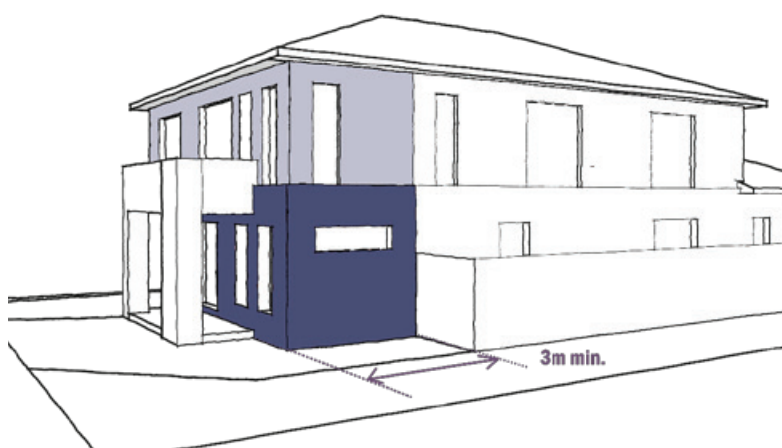


Diagram 4.5.1a

4.5.1 The secondary façade must incorporate:

- a. At least one window per storey, forward of the return fence. It is highly encouraged that this is a habitable room window.
- b. Each window must match the head height of the windows on the same storey of the primary façade.

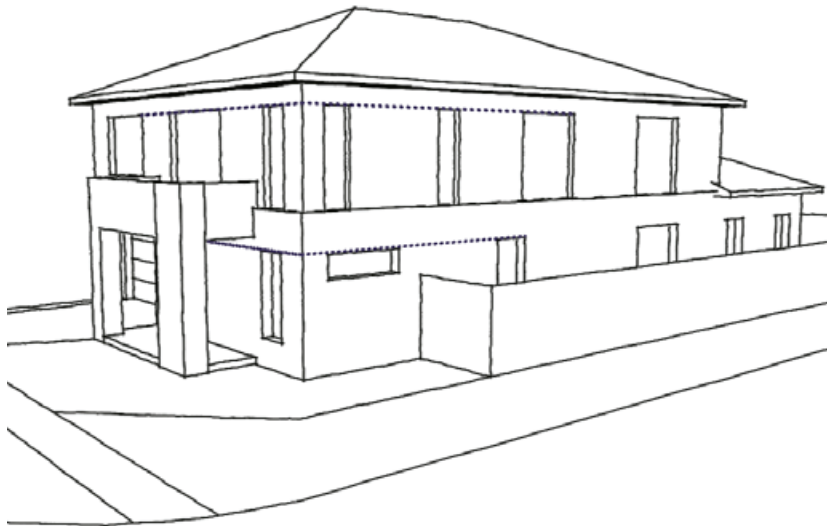


Diagram 4.5.1b

4.5.2 Any eaves or parapet on the interface of the primary and secondary facades must return along the entire length of the secondary façade.

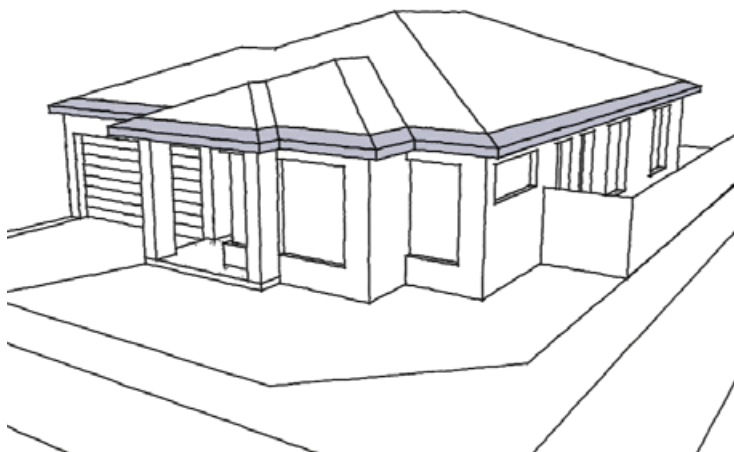


Diagram 4.5.2

4.5.3 Large areas of flat or blank walls to the street or reserve elevations will not be permitted.

4.0 DWELLING DESIGN

4.6 MATERIALS AND COLOURS

A variety of materials, colours and finishes should be used on each dwelling and must be complementary to the design of the dwelling and fit within a contemporary Australian design style.

Generally, colours that integrate with the landscape and are in muted and natural tones are desired. Bright and/or fluorescent colours are not supported.

All ancillary items such as balconies, posts, verandahs, porticos, pergolas, balustrades, down pipes and gutters and other minor architectural detailing items, must be of a similar colour to one of the selected facade colours.

4.6.1 A minimum of two colours and/or materials must be used for the face of any wall visible from the Public Realm

Acceptable materials include:

- Brickwork
- Weatherboard
- Exposed timber
- Hardiplank
- Mini orb sheeting
- Render
- Lightweight cladding

4.6.2 Materials and finishes not permitted include:

- Plain cement sheeting
- Plain concrete blocks
- Corrugated cement sheeting
- Zinc or galvanised
- Bagged brick

4.6.3 One material or colour must not make up more than 75% of any façade that faces the public realm.

This measurement does not include any openings such as windows and doors, including garage doors.

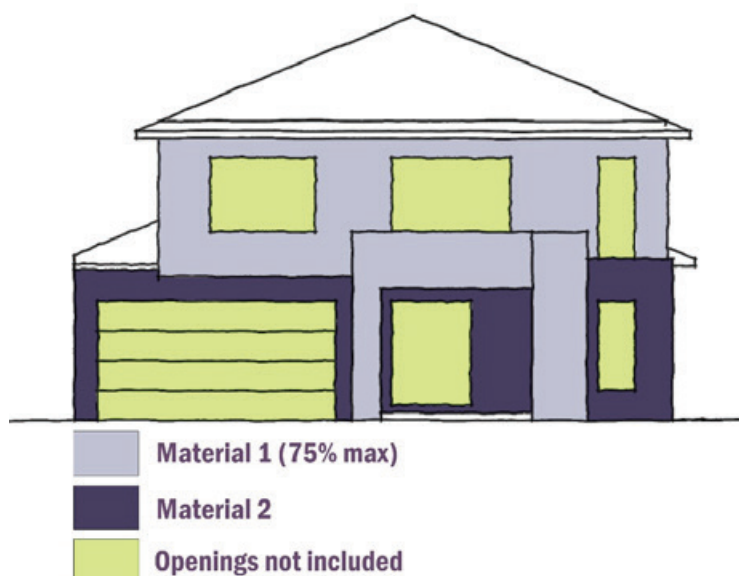


Diagram 4.6.3

4.7 ROOFS

Roof forms should generally be pitched, although skillion elements and parapets where box guttering is hidden from the street view are also permitted. Ultimately, roof forms should complement the style of design of the dwelling.

It is strongly suggested that pitched roofs incorporate hips or gables to articulate the roofline.

HIP AND GABLE ROOFS

- 4.7.1 Hip and gable roofs, as opposed to skillion roofs, must have a min. 450mm eaves or a parapet facing the Public Realm. Gutters and/or fascias without an eaves must not face the Public Realm.

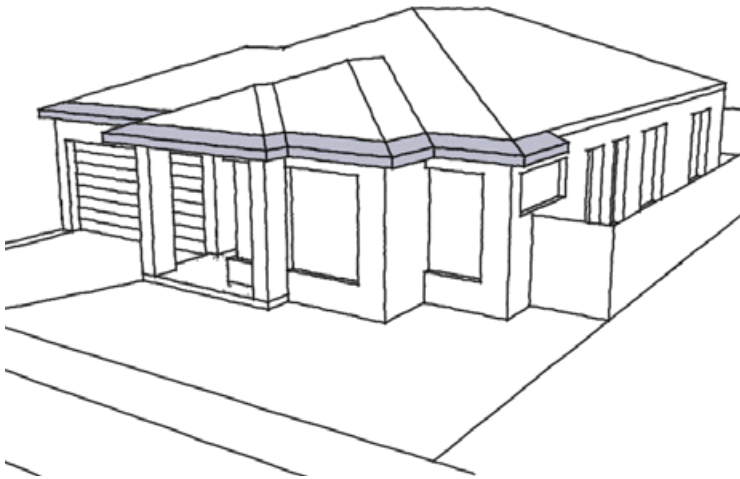


Diagram 4.7.1

- 4.7.2 The front eaves must return along the side wall for at least 1.5m on single storey dwellings unless the wall is on the boundary.

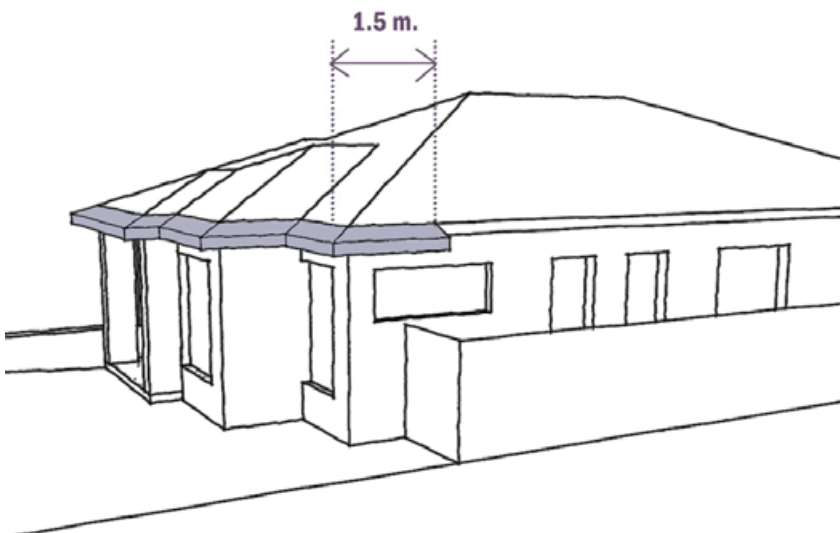


Diagram 4.7.2

4.0 DWELLING DESIGN

- 4.7.3 A pitched roof on the upper level of a two storey dwelling must have a min. 450 eaves to the entire upper level.

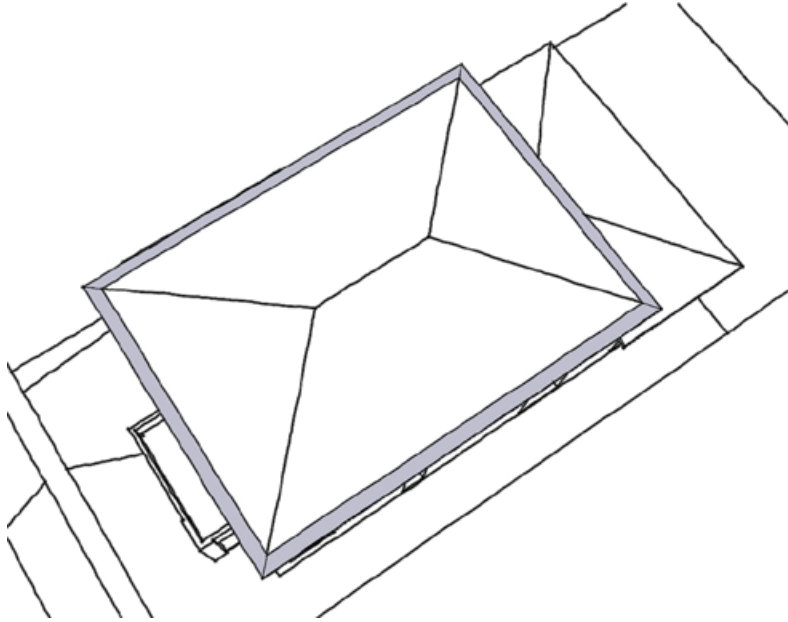


Diagram 4.7.3

- 4.7.4 Parapets on the front façade must be returned along a side wall for at least 500mm. This includes walls on a boundary.



Diagram 4.7.4

SKILLION ROOFS

- 4.7.5 Skillion Roofs must have an eaves to the satisfaction of the DRP. Please contact the DRP early in the design process for advice on the appropriateness of a skillion roof.

FLAT ROOFS

- 4.7.6 Roofs with a pitch of 5° or less must be screened from the Public Realm by a parapet.
- 4.7.7 Parapets on the front façade must be returned along a side wall for at least 500mm. This includes walls on a boundary.

ALL ROOFS

- 4.7.8 Gutters and/or fascias without an eaves must not face the Public Realm.

4.8 GARAGES AND DRIVEWAYS

- 4.8.1 Garages must be incorporated into the main roofline of the dwelling.
- 4.8.2 Garages must be setback at least 0.5m from the front building line of the dwelling.

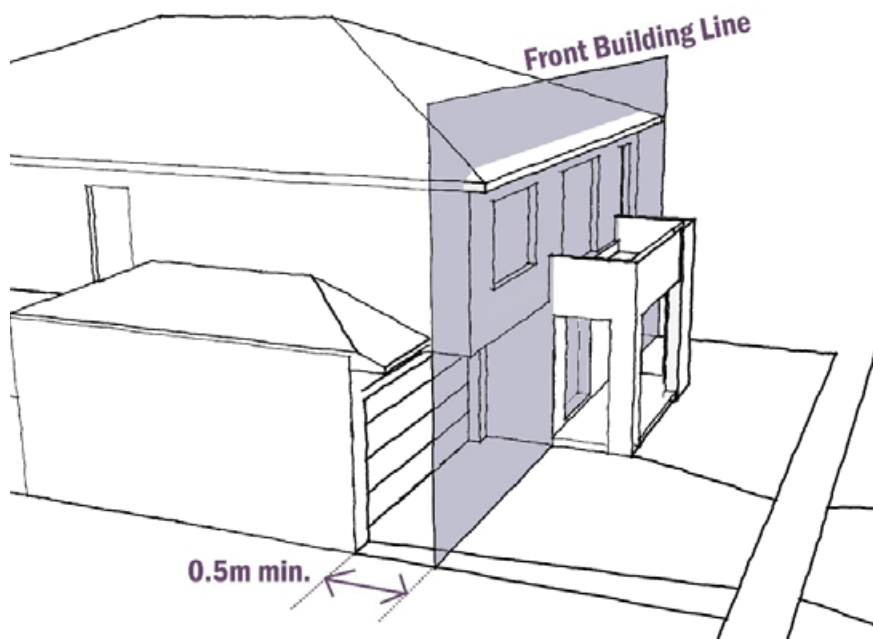


Diagram 4.8.2

- 4.8.3 For single story dwellings on lots with a width less than 12.5m, garage doors must not be wider than 2.6m.
- 4.8.4 For single story dwellings on lots with a width of 12.5m or greater and 14m or less, the maximum allowable width for the garage door is 5.5m.

4.0 DWELLING DESIGN

- 4.8.5 For single story dwellings on lots with a width of 15m or greater, the garage door must not exceed 40% of the total width of the lot.
- 4.8.6 For two storey dwellings, garage doors exceeding 40% of the lot width will not be approved unless there is a balcony or windows provided above the garage front wall to reduce the potential dominance of the garage doors on the streetscape.
- 4.8.7 Triple garages are not supported.
- 4.8.8 For corner dwellings, garages must not be located on the corner where the primary and secondary frontages meet or adjacent to boundaries abutting the Public Realm.
- 4.8.9 Each dwelling must have a single crossover.
- 4.8.10 The driveway must be set back at least 400mm from the side boundary to provide a landscaped garden bed between the driveway and the side boundary.

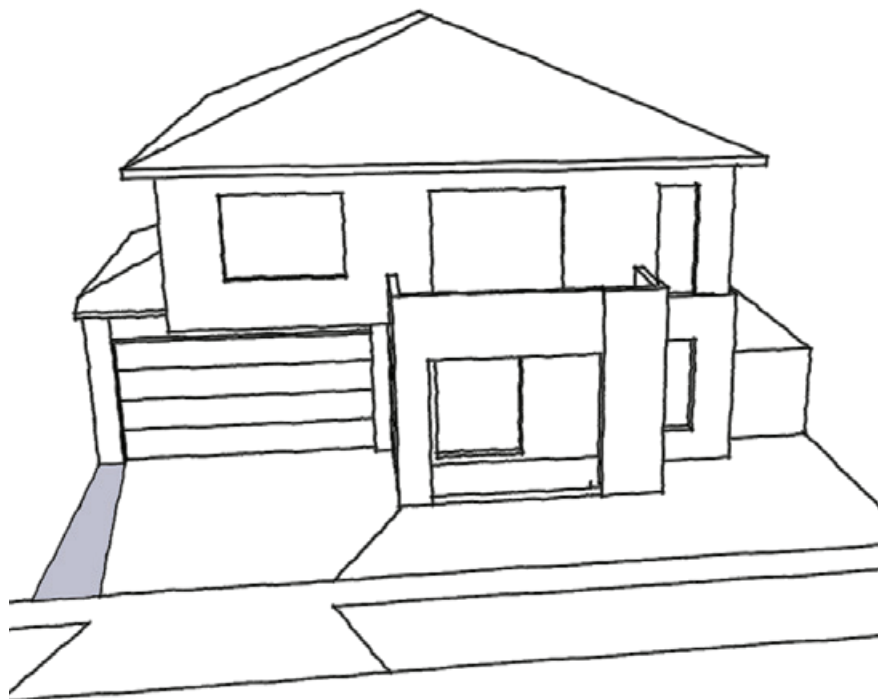


Diagram 4.8.10

- 4.8.11 The driveway width should not exceed the width of the garage opening at the front wall of the garage and should be no wider than the crossover at the front boundary.
- 4.8.12 Driveways must be finished in either coloured concrete, exposed aggregate concrete, or pavers.
- 4.8.13 Driveways constructed from plain asphalt or plain concrete are not permitted.

5.0 LANDSCAPING AND FENCING

A key feature of Masall is the landscaped streets. Appropriate front garden design and plant selection, forms an important part of the overall neighbourhood character.

5.1 FENCING

FRONT FENCING (FENCING FORWARD OF THE DWELLING OR GARAGE)

5.1.1 Fencing is not permitted forward of the building line.

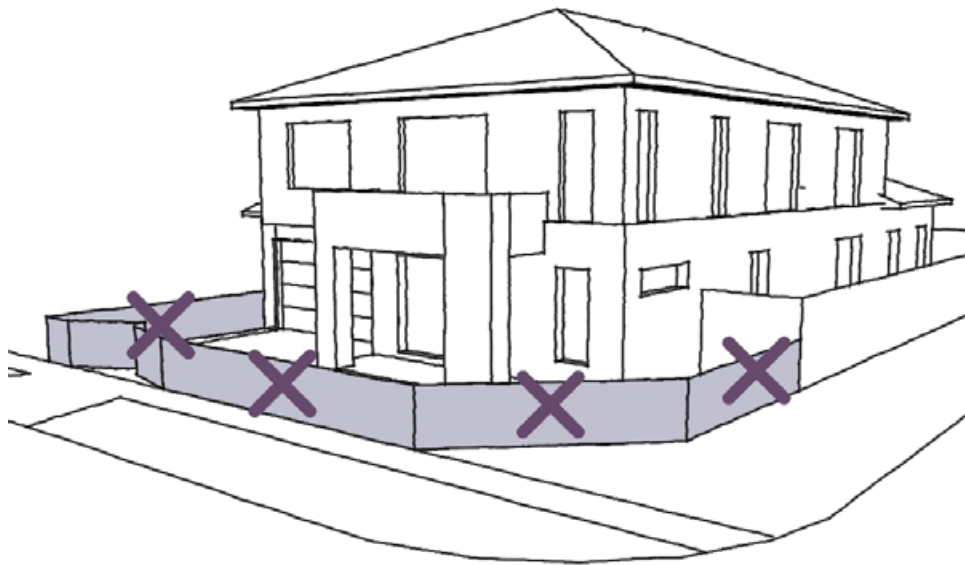


Diagram 5.1.1

SIDE AND REAR FENCE (FENCING ON THE BOUNDARY BETWEEN LOTS)

5.1.2 Side and rear fencing must be:

- a. Constructed with 150mm x 150mm timber posts, a 150mm bottom plinth, and lapped timber palings; and
- b. A maximum height of 1.8m above natural ground level; and

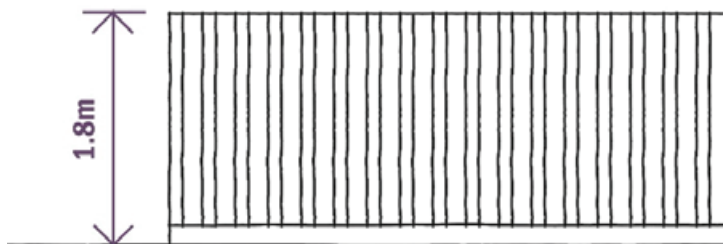


Diagram 5.1.2b

- c. Terminated a minimum of 1m behind the closest front wall of the dwelling; and
- d. Returned to meet the closest side wall of the dwelling (return fence)

5.0 LANDSCAPING AND FENCING

SIDE AND REAR FENCE (FENCING ON THE BOUNDARY BETWEEN LOTS)

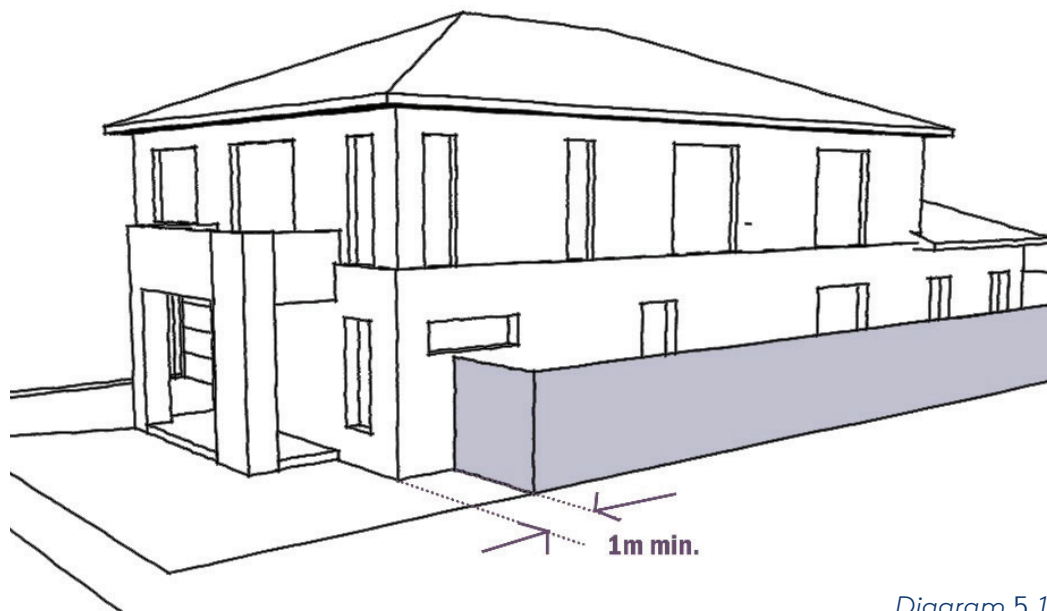


Diagram 5.1.2c

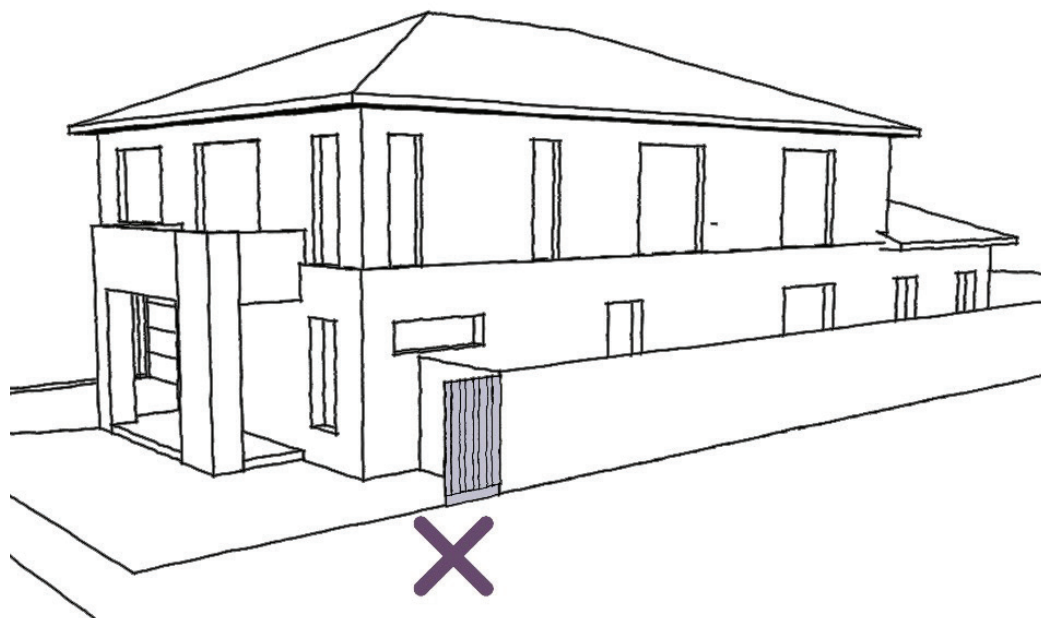


Diagram 5.1.2d

CORNER FENCE (FENCING ON A SIDE BOUNDARY THAT ABUTS THE PUBLIC REALM)

5.1.3 Corner fencing must be:

- a. Constructed with exposed 150mm x 150mm timber posts, a 150mm bottom plinth, lapped timber palings and timber capping; and
- b. A maximum height of 2m above natural ground level for the posts; and
- c. A maximum height of 1.8m above natural ground level for the capping; and

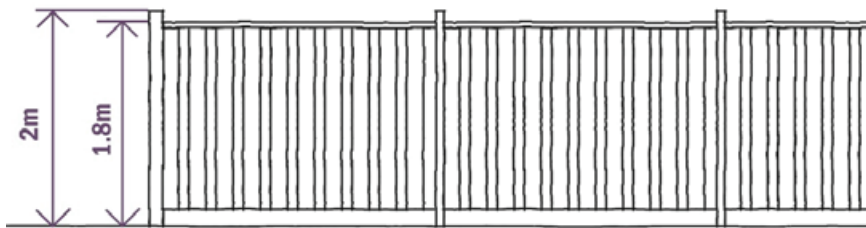


Diagram 5.1.3

- d. Terminated a minimum of 4m behind the closest front wall of the dwelling; and
- e. Returned to meet the closest side wall of the dwelling (return/wing fence)

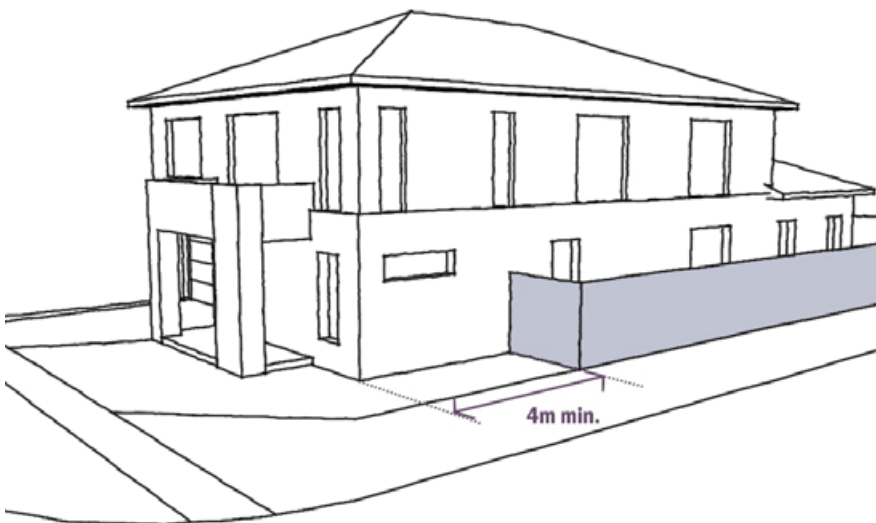


Diagram 5.1.3d

RETURN FENCE (FENCING BETWEEN THE BOUNDARY FENCE AND THE DWELLING OR GARAGE)

5.1.4 The return fence must be timber slats or constructed to match the adjacent boundary fence.

5.1.5 The return fence must not be higher than the adjacent boundary fence.

SIDE GATES

5.1.6 Gates that form part of a fence must match the height, material and specifications of the fence.

5.0 LANDSCAPING AND FENCING

5.2 FRONT GARDEN LANDSCAPE

AREA REQUIREMENTS

- 5.2.1 At least 60% of the total front garden area is to consist of permeable surfaces such as:
- Lawn
 - Lawn alternatives such as groundcovers, river pebbles, Lilydale toppings etc.
 - Garden beds.
- 5.2.2 At least 30% of the permeable area must consist of garden beds with appropriate plants such as trees, shrubs etc.
- 5.2.3 Given the minimum area required to be permeable, impermeable surfaces (driveway, paths etc.) may not exceed 40% of the front garden area.

MATERIALS

- 5.2.4 Lawn (pre-grown turf and grass) must be of a warm season variety.
- The lawn should be installed on a minimum 100mm depth of suitable topsoil and should be maintained and regularly edged to present neatly.
- 5.2.5 All garden bed areas within the front garden must be edged using brick, timber, or steel edges.
- 5.2.6 For the general benefit of the whole community, consideration should be given to incorporate the following into all garden beds:
- The cultivation of existing soil to a depth of at least 200mm
 - The addition of imported topsoil and fertiliser
 - The use of timber or similar mulch to a depth of at least 80mm.
- This will help retain moisture within the soil and suppress weed growth.

PLANTS

- 5.2.7 Front gardens should be planted with a minimum of one canopy tree.
- The canopy tree should have a minimum mature height of 4m.
- 5.2.8 Plant species to be used in front gardens are to be hardy, appropriate to the site and have reasonable drought tolerance to reduce the need for irrigation.
- 5.2.9 Plants should be selected from the plant species list derived from the [City of Melton's Landscape Guidelines](#) available from their website.
- 5.2.10 Declared weed species are not permitted.
- For additional guidance on suitable species and how to design your garden, refer to the [City of Melton's publication 'Gardens for Wildlife'](#) available from their website.

NATURE STRIP

- 5.2.11 The nature strip outside the lot is included as part of the works required for successful completion of the landscaping. Nature strips must achieve neat and even grass coverage and any damage caused during construction of the dwelling must be rectified.
- 5.2.12 Artificial turf is not permitted in the nature strip.

LETTER BOXES

- 5.2.13 Letterboxes must be positioned on the front boundary adjacent to either the driveway or path with the house number clearly displayed.
- 5.2.14 Single post letter boxes are not permitted.

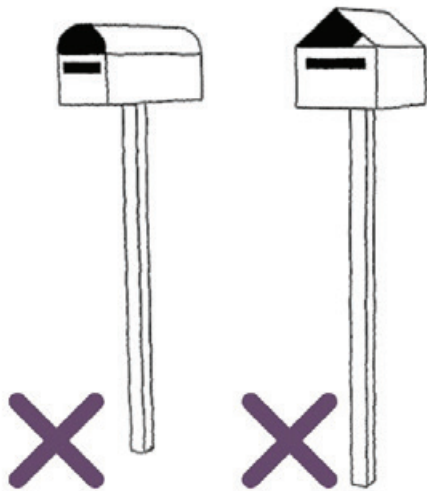


Diagram 5.2.14

Letterboxes should replicate the colour, material, and style of your dwelling.

6.0 SUSTAINABLE DESIGN

Environmentally Sustainable Design (ESD) principles play an important role in the overall estate design. From the original masterplan, through to your lot, the estate has been designed to minimise the long-term footprint on the environment.

Your efforts to reduce your household's impact on the environment start now. Work with your builder/ architect to ensure your indoor and outdoor living areas are facing north wherever possible and choose fittings and appliances which can minimise the overall energy and water consumption of your home.

The DRP strongly encourages you to consider further methods of increasing the energy efficiency rating of your home and work closely with your builder to ensure your home is as efficient and sustainable as possible.

6.1 PASSIVE DESIGN

- Where practical, locate living spaces to the north of the dwelling to facilitate solar access in winter months.
- Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to minimise summer solar access.
- Where practical, locate private open space on the north side of the allotment, and avoid it being located along a primary frontage.
- If possible, zone your dwelling layout to enable the main living areas to be separately heated and cooled, to minimise energy costs.

6.2 ENERGY EFFICIENCY & LIGHTING

All dwellings should achieve a reduction in greenhouse gas emissions in line with the relevant rating tools.

The energy rating of all dwellings is to comply with the National Construction Code. Dwellings must achieve a minimum of a 6 star rating using the Nationwide House Energy Rating Scheme (NatHERS) approved software.

It is encouraged that all internal light fittings such as down lights, pendants, wall mounts etc allow for compact fluorescents or LED lighting.

External light fittings must not result in excessive light spill.

6.3 WATER EFFICIENCY

- 6.3.1 Dwellings on lots 300m² and above must incorporate a rainwater storage tank that is at least 3000 litres in capacity.

The harvested rainwater from the tank can be used for non-drinking purposes such as outdoor use, toilet flushing and laundry supply.

- 6.3.2 The tank must be located behind the boundary and return fences, such that it is not readily visible from the public realm, subject to the appropriate regulatory requirements.

- 6.3.3 The size and location of this tank must be nominated on the site plan submitted for Design Approval.

7.0 MISCELLANEOUS

7.1 SERVICES AND PLANT EQUIPMENT

To ensure that dwellings maintain street appeal, the following requirements provide direction with how additional items need to be concealed or positioned in a non-intrusive way.

- 7.1.1 Meter boxes and gas meters should be located in the least visually obtrusive location from public view.
- 7.1.2 Satellite dishes, television antennae, clothes lines, hot water services, heating and cooling units must be located away from direct view lines from the street or public spaces.
- 7.1.3 Roof mounted building services must be located away from the streetscape or appropriately concealed by a parapet or roof structure that is a part of the overall dwelling design. On corner lots, units may only be located on secondary frontages where it is impractical to locate them elsewhere.
- 7.1.4 Garbage bins that are to be stored to the front of the property, should be screened from view from public spaces by an integrated enclosure, screen or fencing appropriate to the design of the dwelling.
- 7.1.5 Sheds or areas used for ancillary storage of boats, recreational vehicles, caravans or similar must not be located where they are visible from the street and must be contained solely within the rear yard.
- 7.1.6 Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

7.2 CONNECTIVITY

- 7.2.1 All dwellings must be provided with optical fibre connection installed in accordance with the relevant preparation and installation guide.

Please refer to www.nbnco.com.au. For more details on the specific requirements for your home.

FRASER RISE — VIC 3336

MASALL



masall.com.au